

**PREPARED BY AND RETURN TO:**

Gary P. Snyder (MSB # 7682)  
Watkins Ludlam Winter & Stennis, P.A.  
P.O. Box 1456  
Olive Branch, MS 38654  
(662) 895-2996

**INDEXING INSTRUCTIONS:** Part of Lot 3, Phase 1, The Village Shops of Crumpler Place, as recorded in Plat Book 105, Page 13, in the DeSoto County Chancery Clerk's Office and lying in the Northwest Quarter of Section 32, Township 1 South, Range 6 West.

**PARTIAL RELEASE OF ASSIGNMENT OF LEASES AND RENTS**

FOR VALUE RECEIVED, the undersigned Beneficiary, by and through its duly authorized officer, of that certain Assignment of Leases and Rents executed by Village Shops Partnership, dated October 30, 2006, and filed on October 30, 2006, at 2:13 P.M. in Book 116, Page 646 of the Land Records, Chancery Clerk's Office, DeSoto County, Mississippi, does hereby release from the Assignment of Leases and Rents, the following described property, to-wit:

**See Exhibit "A" attached hereto.**

This release is a partial release, releasing only the property described herein. The said Assignment of Leases and Rents in all other respects, remains in full force and effect.

The undersigned beneficiary hereby authorizes the Chancery Clerk to make the appropriate marginal notation on the face of the Assignment of Leases and Rents.

WITNESS THE SIGNATURE OF ITS DULY AUTHORIZED OFFICIAL this the 28<sup>th</sup> day of October, 2009.

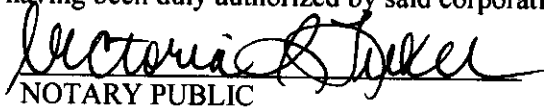
RIVERSOURCE LIFE INSURANCE COMPANY,  
A Minnesota Corporation, F/K/A IDS LIFE  
INSURANCE COMPANY

BY: [Signature]  
Title: Assistant Vice President

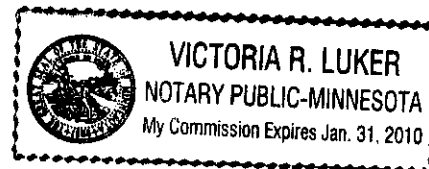
BY: [Signature]  
Title: Assistant Secretary

STATE OF MINNESOTA  
COUNTY OF HENNEPIN

Personally appeared before me, the undersigned authority in and for said county and state, within my jurisdiction, on this the 28<sup>th</sup> day of October, 2009, the within named Mark McMullen and Lisa M. Nepl, in their official capacity as Assistant Vice President and Assistant Secretary of RiverSource Life Insurance Company, a Minnesota corporation, f/k/a IDS Life Insurance Company, who acknowledged that they signed and delivered the above and foregoing Partial Release on the day and year herein mentioned for the purposes therein stated, after having been duly authorized by said corporation so to do.

  
NOTARY PUBLIC

MY COMMISSION EXPIRES: January 31, 2010

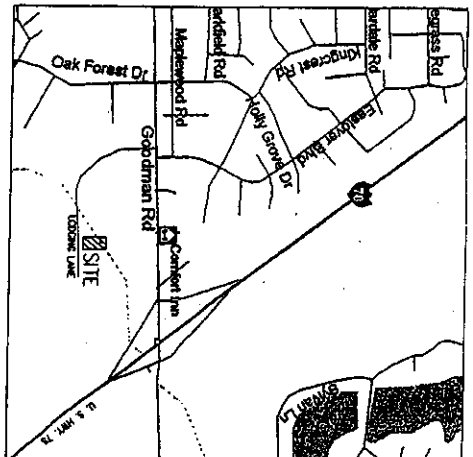
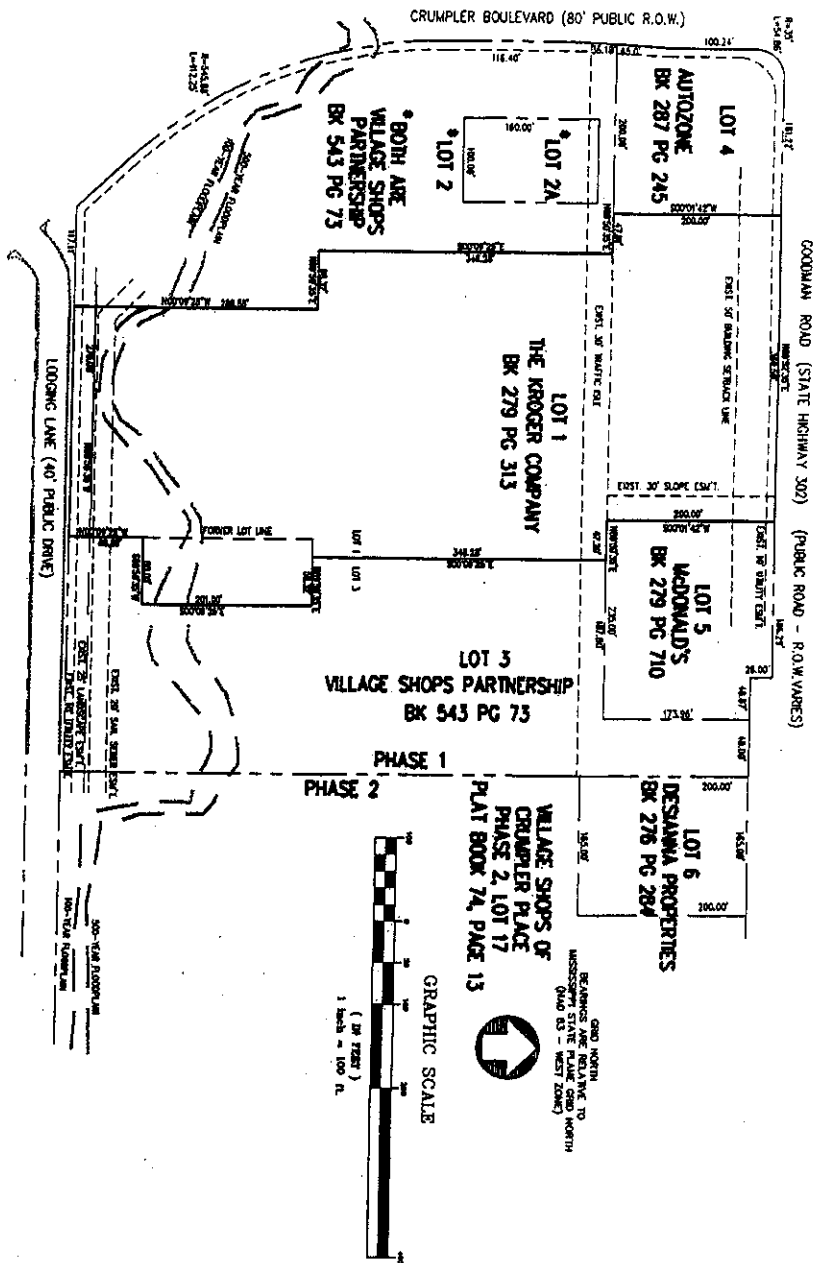


**F#15996.27922 Village Shops Partnership Sale to The Kroger Co.**

**EXHIBIT "A"**

Part of Lot 3, Phase 1, The Village Shops of Crumpler Place, as recorded in Plat Book 105, Page 13, in the DeSoto County, Mississippi Chancery Clerk's Office and lying in the Northwest Quarter of Section 32, Township 1 South, Range 6 West, Olive Branch, DeSoto County, Mississippi, and being more particularly described as follows and as depicted in the attached plat:

Commencing at a found iron pin in the North Right-Of-Way line of Lodging Lane (public, asphalt paved, Right-Of-Way varies) at the common southern corner of Lots 1 and 3, The Village Shops of Crumpler Place as recorded in Plat Book 105, Page 13, said iron pin being 4.8 feet North of the back of curb of Lodging Lane; thence North 00 degrees 09 minutes 25 seconds West along the line between Lots 1 and 3 (leaving said North line) a distance of 88.29 feet to the true point of beginning; thence continue North 00 degrees 09 minutes 25 seconds West along said common line dividing Lots 1 and 3 a distance of 201.00 feet to an internal corner of Lots 1 and 3; thence North 89 degrees 50 minutes 35 seconds East along the line dividing Lots 1 and 3 and the projection thereof a distance of 80.00 feet; thence South 00 degrees 09 minutes 25 seconds East a distance of 201.00 feet; thence South 89 degrees 50 minutes 35 seconds West a distance of 80.00 feet to the point of beginning.



- NOTES**
1. THE PLAT IS SUBJECT TO THE LATEST REVISION OF THE APPROVED PROJECT TEXT FOR CRUMPLER PLACE, A MASTER PLANNED COMMUNITY.
  2. MINIMUM SETBACKS:  
FRONT YARD: 50 FEET  
SIDE YARD: NO SIDE YARD  
REAR YARD: 20' REAR LANDSCAPE AREA AS SHOWN.
  3. FLOOD HAZARD STATEMENT:  
BY GRAPHIC DETERMINATION, THE SUBJECT PROPERTY IS LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA PER MISSISSIPPI LAST REVISION DATE OF JUNE 4, 2007. THE SUBJECT PROPERTY LIES PARTIALLY WITHIN ZONE 'X' AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLANE, PARTIALLY WITHIN SHAIRED 'X' AREAS OF 0.2 ANNUAL CHANCE FLOOD, AND PARTIALLY WITHIN ZONE AE AREAS WITHIN THE 100 YEAR FLOOD ELEVATION FOR LOTS 1 AND 3 RANGES FROM APPROX. 321.0 FEET TO APPROX. 322.3 FEET.
  4. THIS PLAT IS BEING REVISED SOLELY FOR THE PURPOSE OF REVISING THE LOT LINE DIVIDING LOTS 1 AND 3, AND IS BEING ADDED TO LOT 1 BY THIS REVISED PLAT. ONLY PARTS OF LOTS 1 AND 3 WERE SURVEYED BY PICKERING.
  5. IN REGARDS TO ALL LOTS BUT LOT 1, FOR GEOMETRY SETBACKS AND EASEMENTS AS PLATTED, SEE FIRST REVISION OF PHASE 1 AS RECORDED IN PLAT BOOK 105 PAGE 13.

SHEET ONE OF TWO  
AUGUST 12, 2009

THE VILLAGE SHOPS OF CRUMPLER PLACE  
(REVISION OF LOT 1 AND 3)

ZONED: PUD  
BEING PART OF  
SECTION 32, TOWNSHIP 1 SOUTH, RANGE 6 WEST  
OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI

DEVELOPER: KROGER LIMITED PARTNERSHIP, I  
800 RIDGE LAKE BLVD.  
MEMPHIS, TN. 38101-1878

